

PROPOSED WAREHOUSE & OFFICE BUILDING

20 Valentine Street, Kewdale WA 6105



Page Description:
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Rev	Revision Description	Issued to	Date
A	ISSUED TO DA	City of Belmont	31/10/2019

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OF COMPANIES



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COVER SHEET

Parallax WA

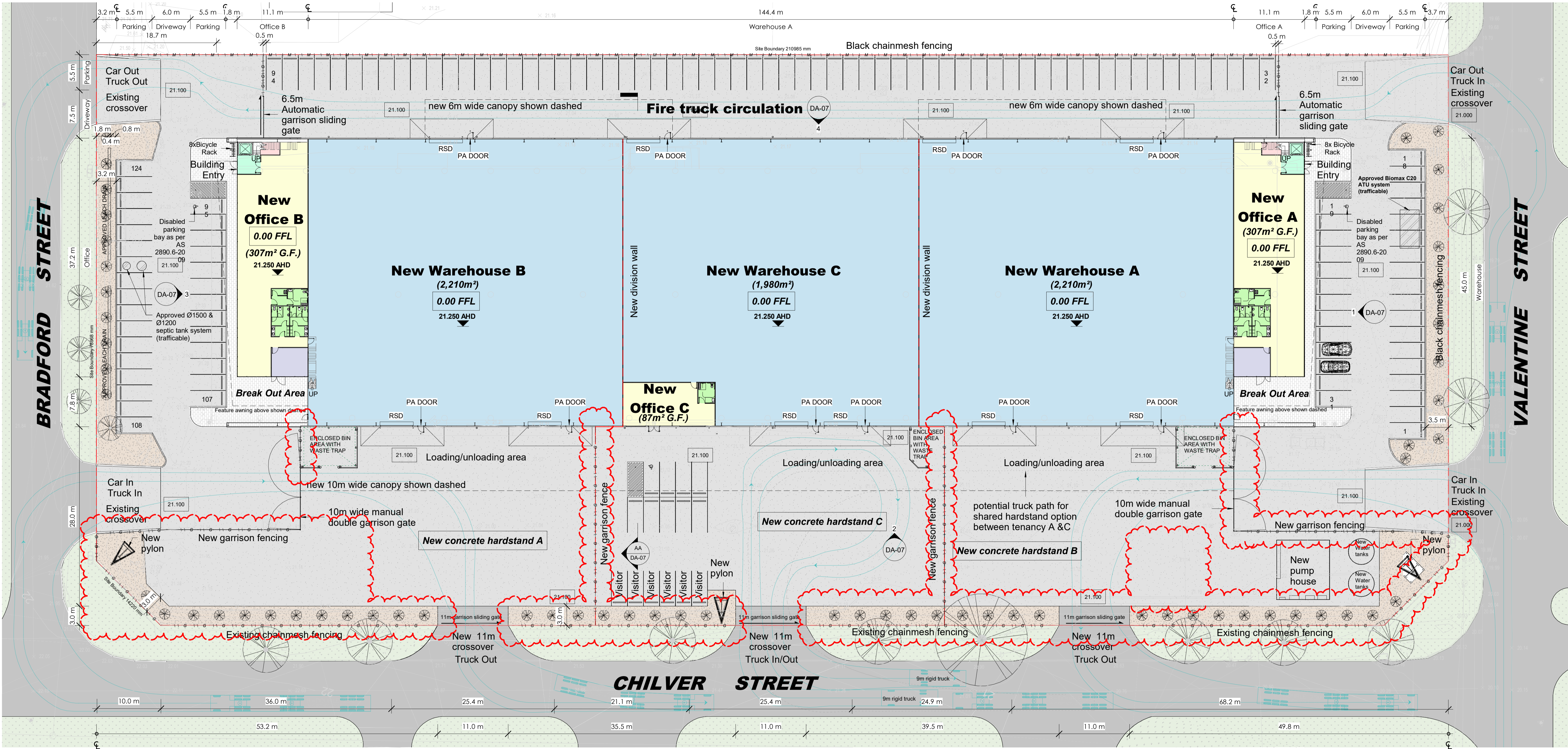
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Checked by: LEN

Project Status: **DEVELOPMENT APPLICATION**

Sheet: Scale:
City of Belmont
AMENDED PLANS
RECEIVED: 04/2020
Application No: 444/19/DA
Date: 31/10/2019
DA-00 A



SITE CRITERIA

1. Site Area	18,680m²
2. Landscaping	
Provided	
i. Soft	1,182.0m ²
ii. Hard	424.0m ²
Total	1,584m²
3. Floor Area	
i. Office A - G.F.	307m ² NLA
ii. Office A - F.F.	307m ² NLA
iii. Office B - G.F.	307m ² NLA
iv. Office B - F.F.	307m ² NLA
v. Office C - G.F.	87m ² NLA
Total	1,315m²
i. Warehouse A	2,210m ² GFA
ii. Warehouse B	2,210m ² GFA
iii. Warehouse C	1,980m ² GFA
Total	6,400m²

4. Car Parking	Required	Carbays	
	i. Office (@ 1/30 NLA)		43.8
	ii. Warehouse (@ 1/100 GFA)		64.0
	Total		108
	Provided	Carbays	
	i. On-Site		139
5. Bicycle Parking	Required	Bays	
	i. Office (@ 1/200m ² GFA + 1/750m ² GFA)		10.8
	ii. Warehouse (1 per 10 employees)		3
	Total		13.8
	Provided	Bays	
	i. On-Site		16

Landscaping

A. Hard Landscaping
Defined as paved walkways either open or covered.

B. Soft Landscaping
Defined as vegetative landscaping.

Gross Floor Area : GFA

A. All Floor Areas on this plan are shown as GROSS FLOOR AREA. Unless otherwise noted as Nett Floor Area.

B. Definition of Gross Floor Area is defined as:

i. GROSS FLOOR AREA OF TENANCY:
Gross Floor Area of an individual Tenancy is defined as the area contained between the centre line of common tenancy walls and the outside edge of external walls.

ii. GROSS FLOOR AREA OF A BUILDING:
Gross Floor Area of a Building is defined as the total area contained between the outside edge of external walls.

Nett Floor Area : NFA

A. Nett Floor Area of a Tenancy on this plan is defined as the area between external or tenancy dividing walls.

B. This area is inclusive of toilets if the toilets are exclusive to the Tenancy.



LEGEND

- KIMBERLY RED MULCH
- VERGE - GRASS
- 2.4m HIGH CHAINMESH FENCE
- 2.4m HIGH GARRISON FENCE

B	MULTIPLE TENANCIES PROPOSED	City of Belmont	06/02/2020
C	TENANCY C LAYOUT REVISED	City of Belmont	13/03/2020
D	EXTERNAL STORAGE AREA REMOVED	City of Belmont	20/04/2020
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SITE PLAN

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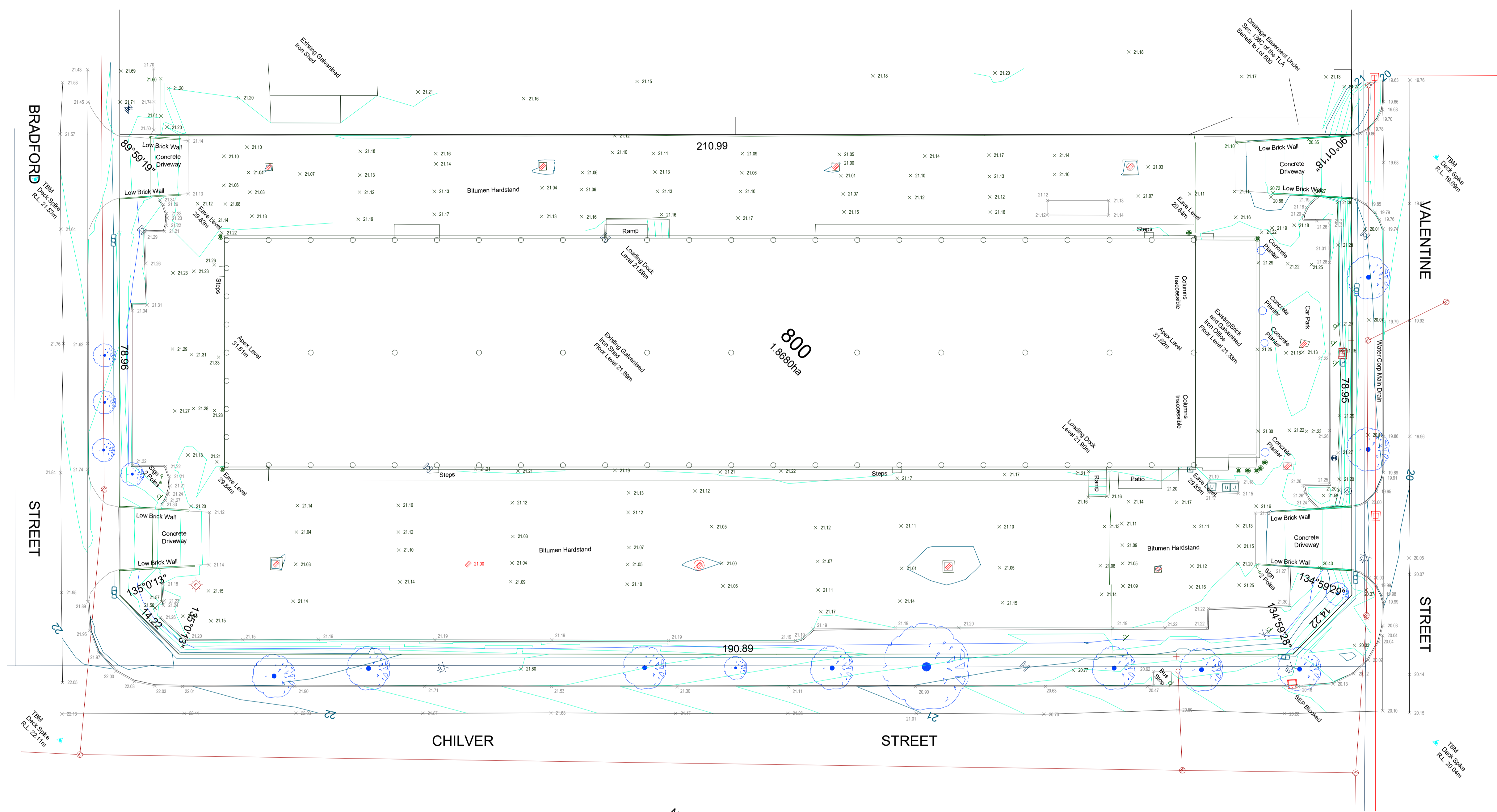
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AMENDED PLANS
REC'D 20/04/2020 Rev:
Application No: 4440191D
21/04/2020 10:35:34 AM

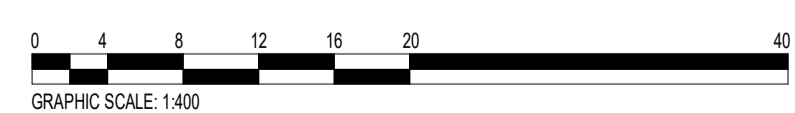
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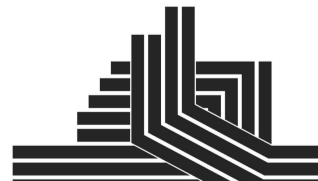
LEGEND

	Drainage Manhole
	Gully
	Side Entry Pit
	Hydrant (ground)
	Hydrant (elevated)
	Stop Valve
	Tap
	Water Meter
	Bore
	Retic Control Valve
	Unknown Manhole/Pit
	Power Pole/Light
	Electrical Service pole
	Electrical Pit
	Distribution board
	Stay Wire
	Earth Pit
	Comms Pit
	Comms Marker
	Bollard
	Column
	Sign
	Ground level
	Tree
	Edge of Bitumen
	Edge of Concrete
	Fence
	Change of Grade
	Bottom of Kerb
	Top of Kerb
	Awning
	Eave Line
	Building
	Gate
	Bush line
	Aerial power
	Comms Cable (DBYD)
	Water Pipe (DBYD)
	Drainage Pipe (DBYD)

SITE SURVEY
SCALE: 1 : 400



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SITE SURVEY

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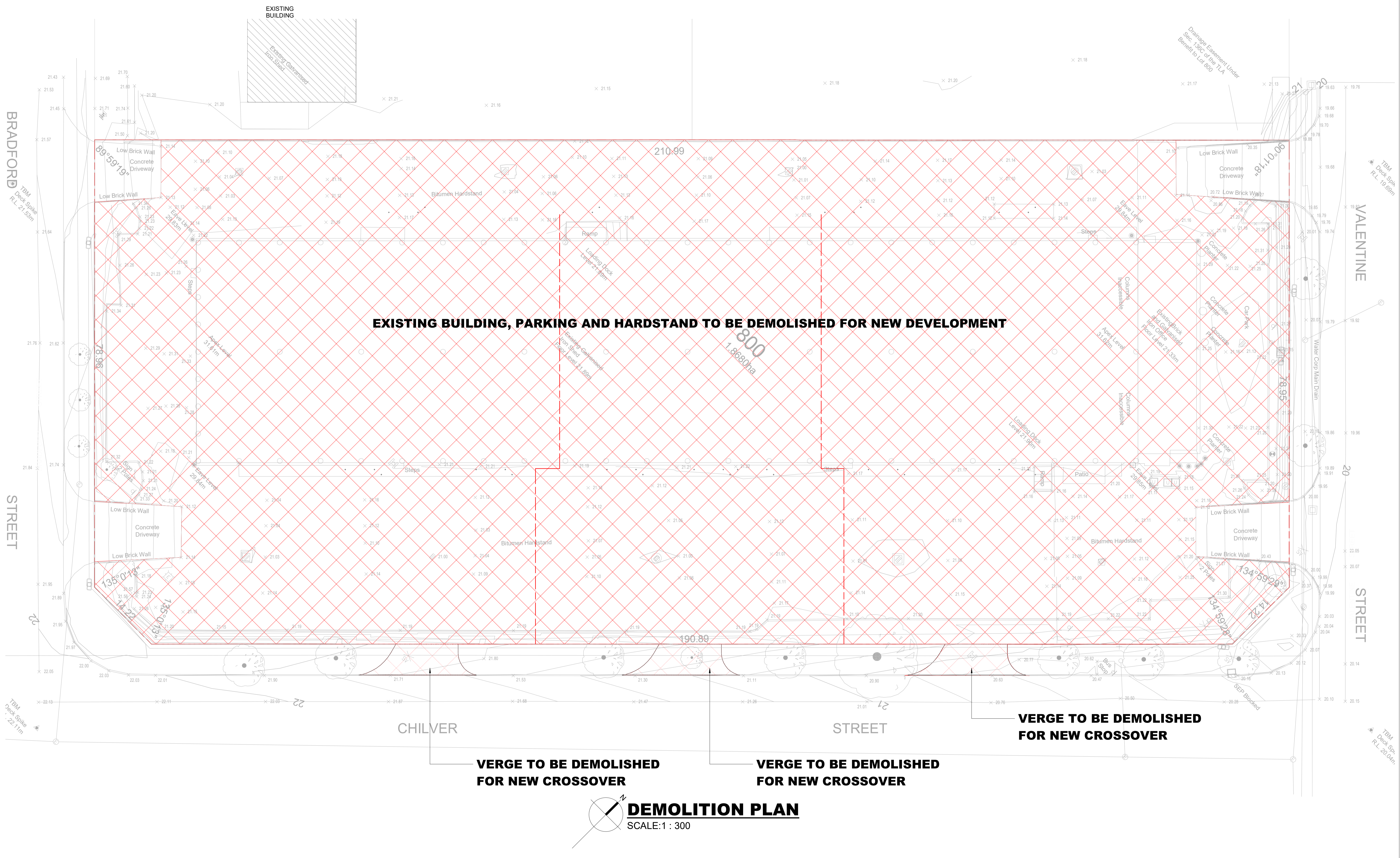
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DA-02 A



EXISTING BUILDING, PARKING AND HARDSTAND TO BE DEMOLISHED FOR NEW DEVELOPMENT

VERGE TO BE DEMOLISHED FOR NEW CROSSOVER

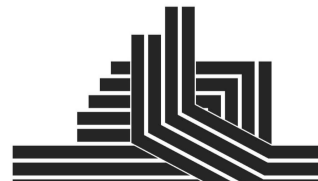
VERGE TO BE DEMOLISHED FOR NEW CROSSOVER

VERGE TO BE DEMOLISHED FOR NEW CROSSOVER

DEMOLITION PLAN
SCALE: 1 : 300



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DEMOLITION PLAN

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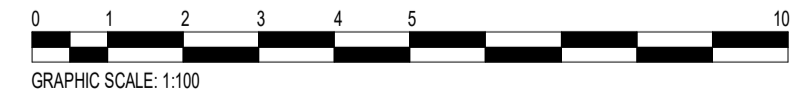
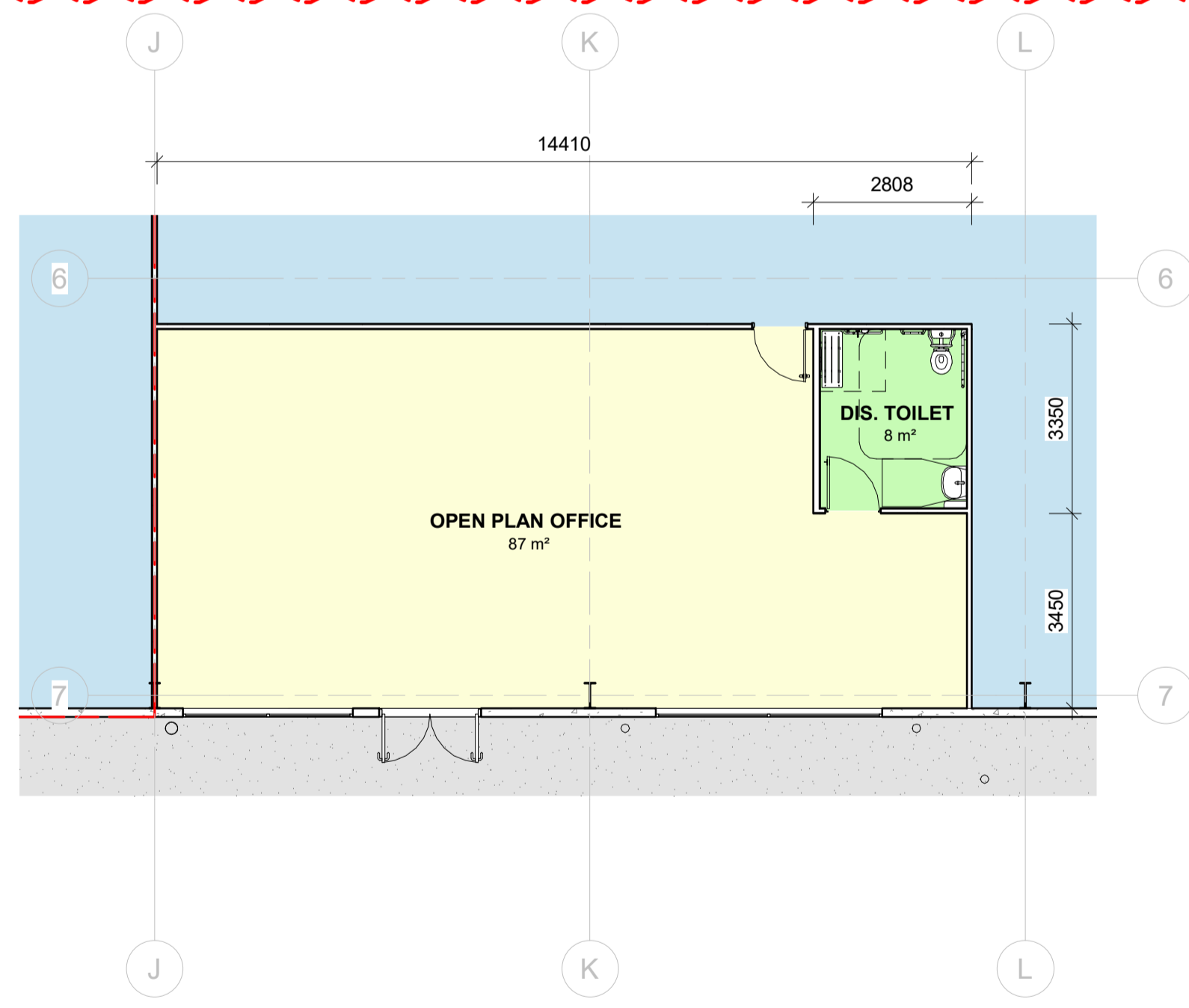
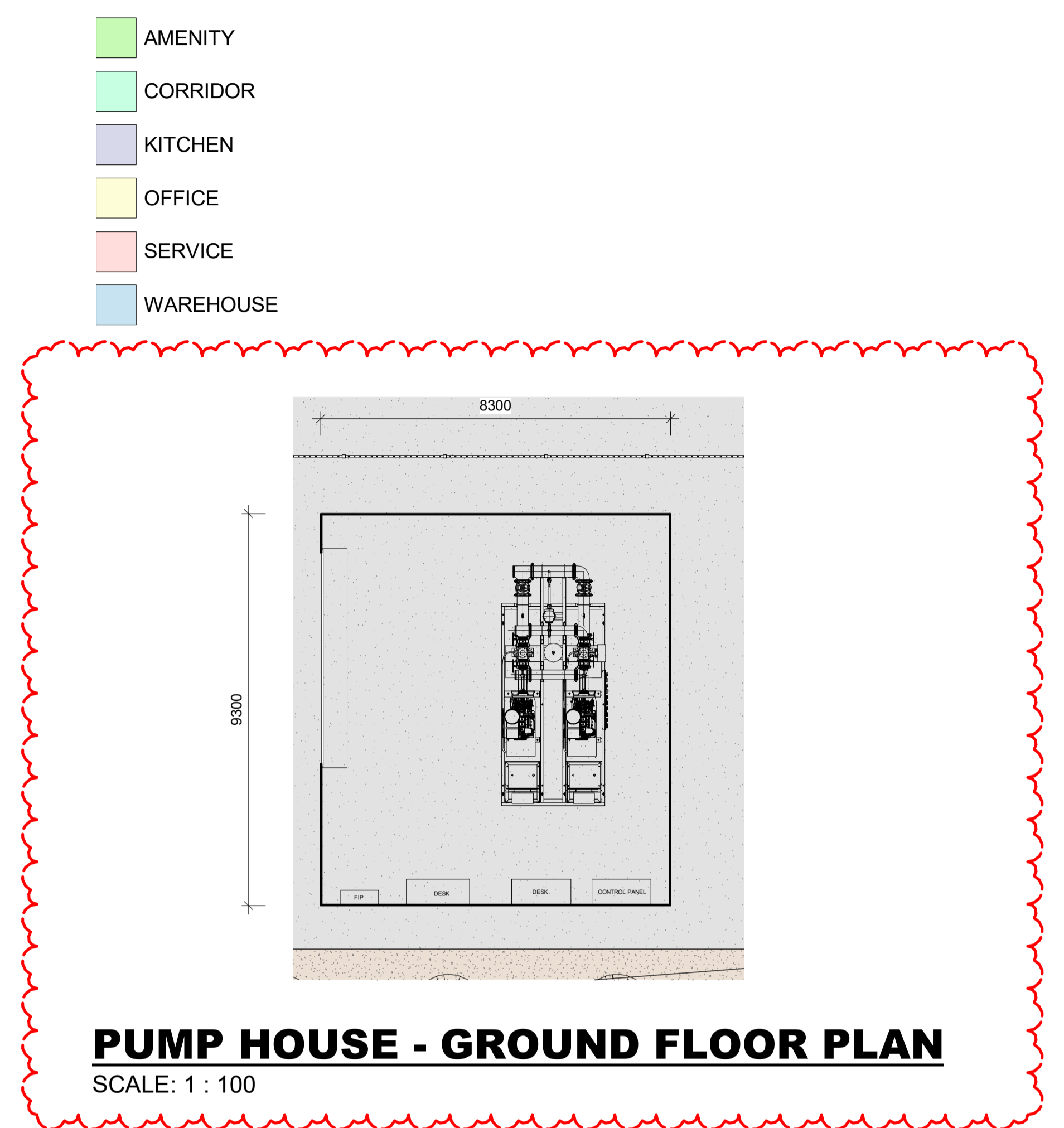
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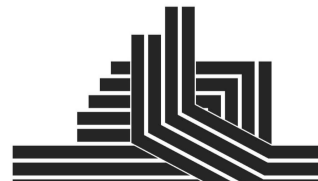
OFFICE B

OFFICE A

OFFICE - GROUND FLOOR PLAN
SCALE: 1 : 100



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OFFICE GROUND FLOOR PLANS

Parallax WA

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City of Belmont 100
AMENDED PLANS
REC'D 04/04/2020
Application No: 44401919/D
DA-05 D

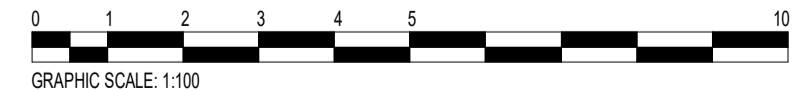


- AMENITY
- CORRIDOR
- KITCHEN
- OFFICE
- SERVICE
- WAREHOUSE

OFFICE B

OFFICE - FIRST FLOOR PLAN
SCALE: 1 : 100

OFFICE A



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OFFICE FIRST FLOOR PLANS

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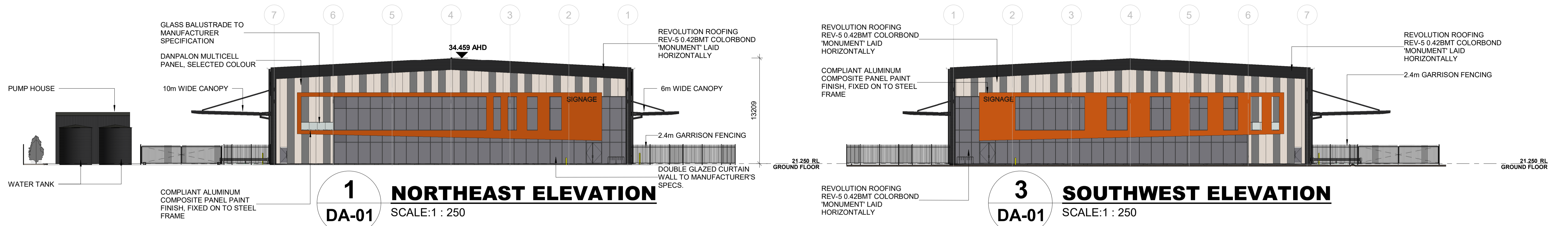
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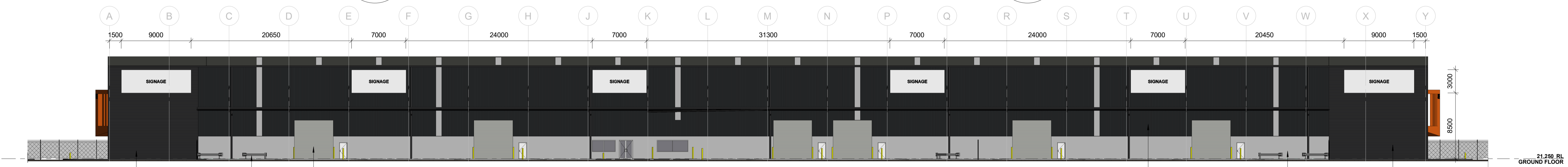
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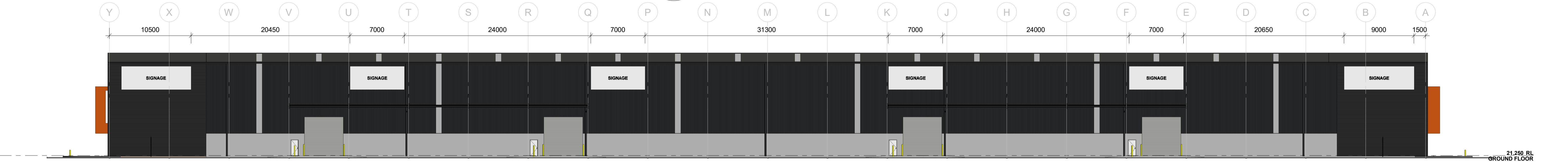


1 **NORTHEAST ELEVATION**
DA-01 SCALE:1 : 250

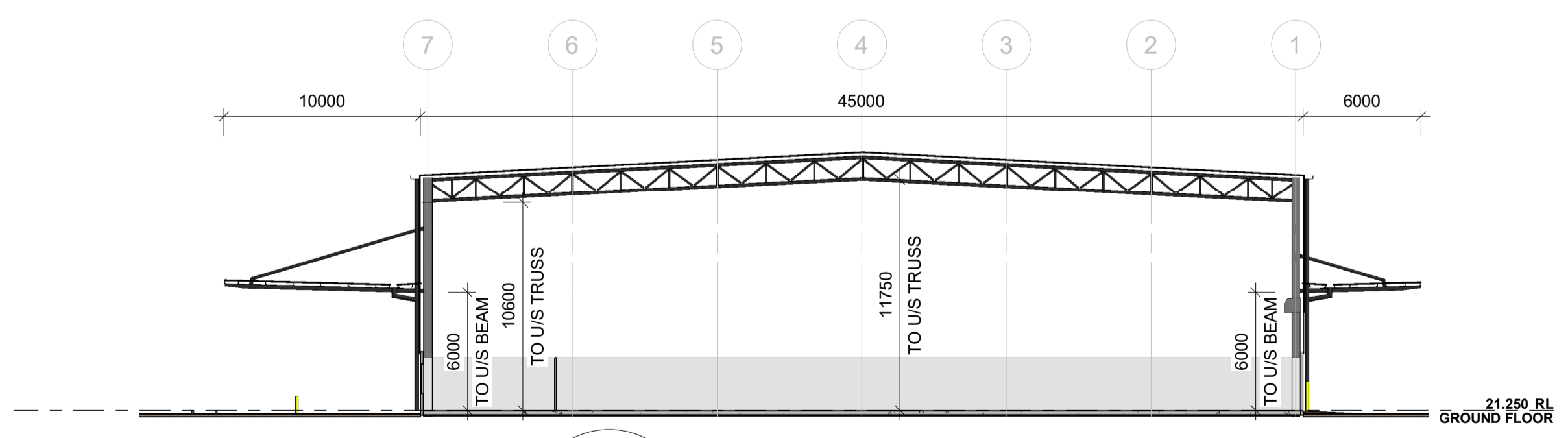
3 **SOUTHWEST ELEVATION**
DA-01 SCALE:1 : 250



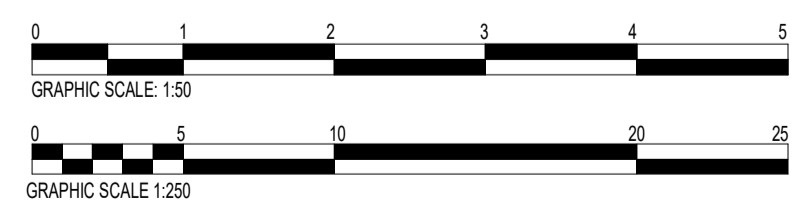
2 **SOUTHEAST ELEVATION**
DA-01 SCALE:1 : 250



4 **NORTHWEST ELEVATION**
DA-01 SCALE:1 : 250



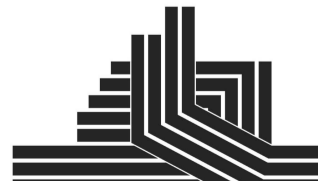
AA **BUILDING SECTION**
DA-01 SCALE:1 : 250



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BUILDING ELEVATIONS

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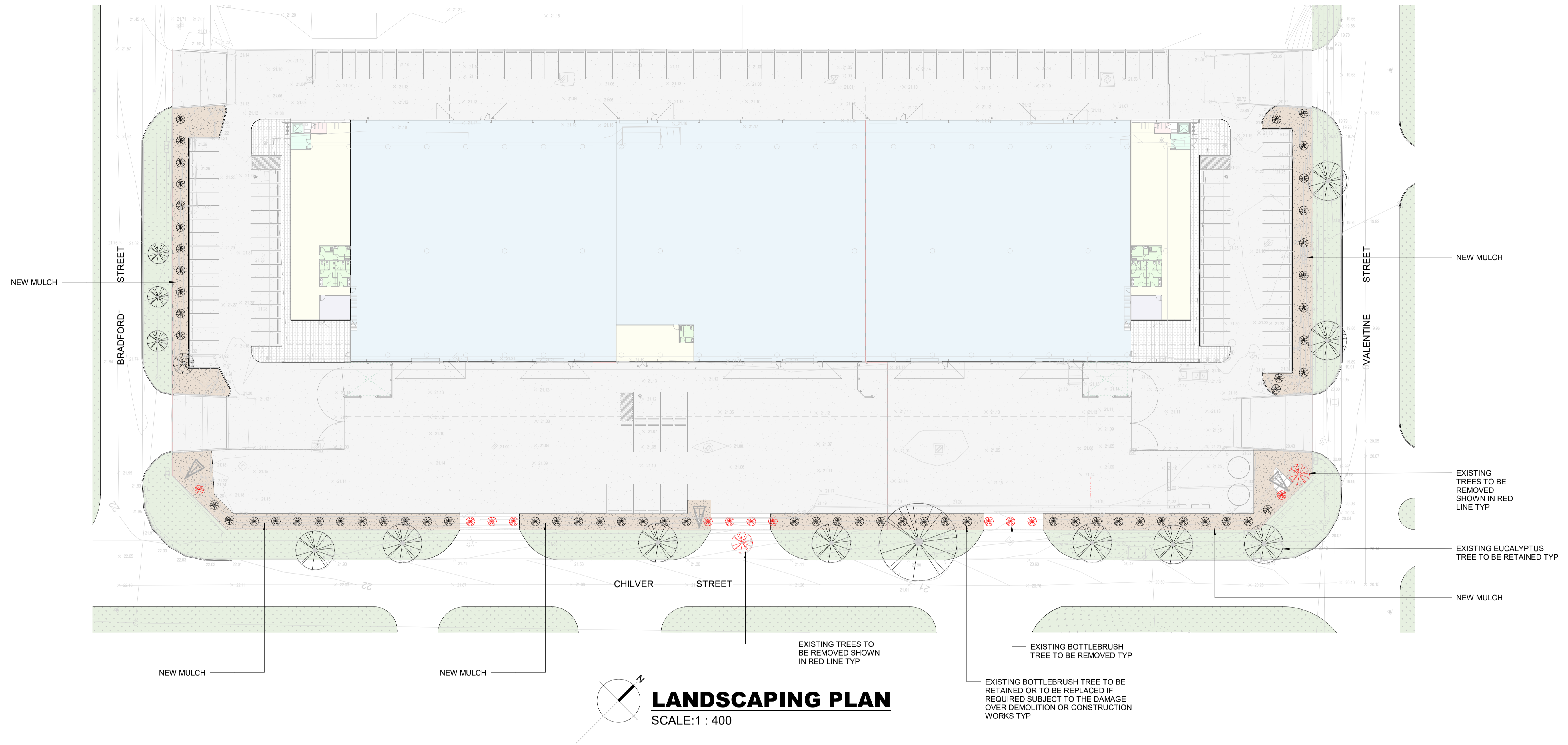
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DA-07 B

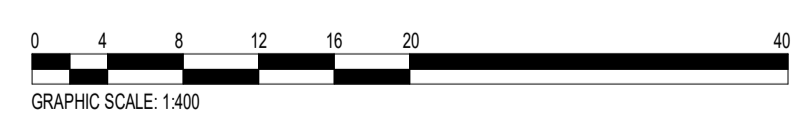


LANDSCAPING PLAN
SCALE: 1 : 400

MULCH INFORMATION

KIMBERLY RED MULCH

- Crushed bark and wood waste are blended and then coloured.
-
- The colourants used are highly resistant to UV fading.



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LANDSCAPE PLAN

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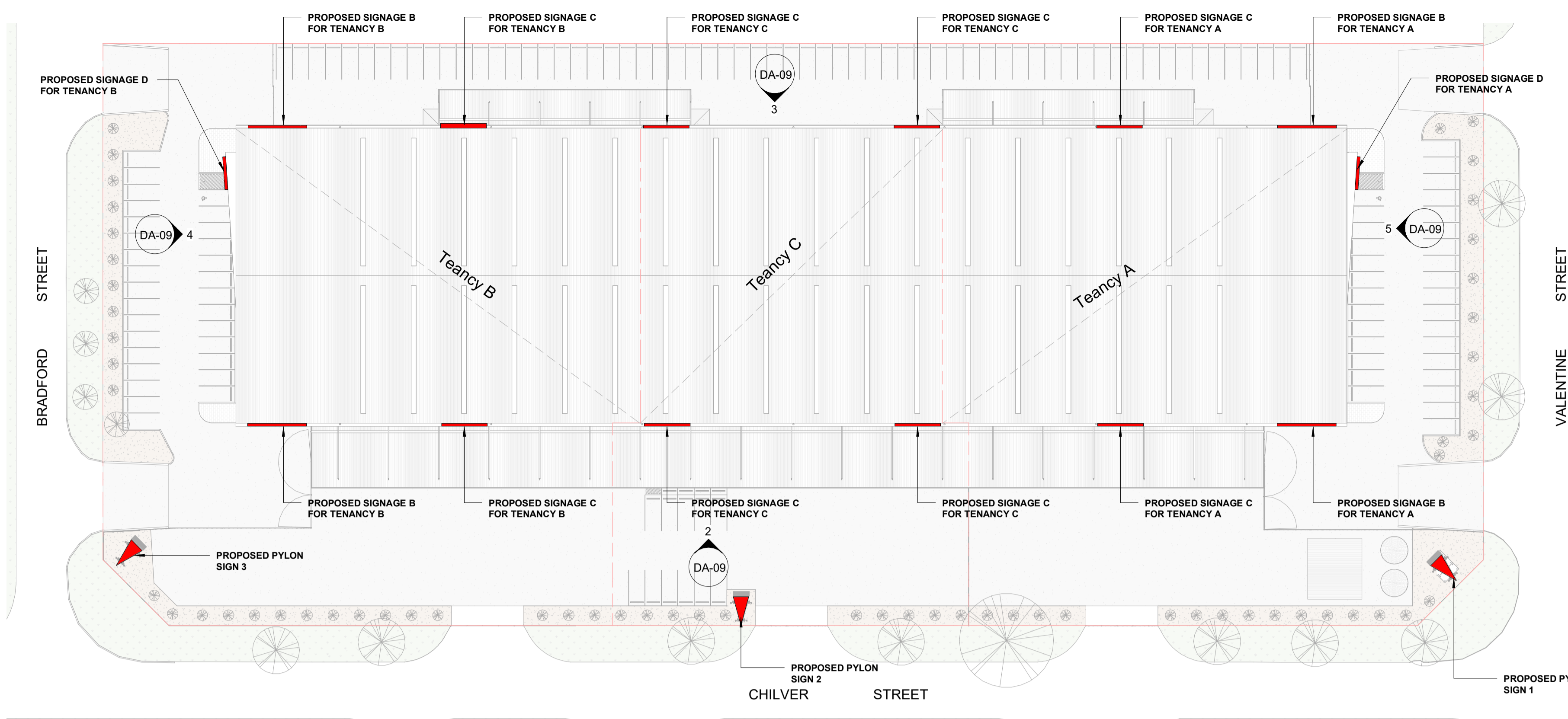
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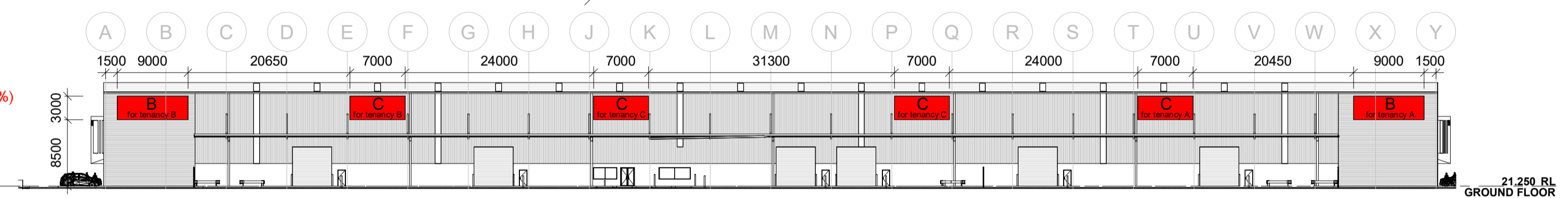
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Application No: 444019/DN
DA-08 B

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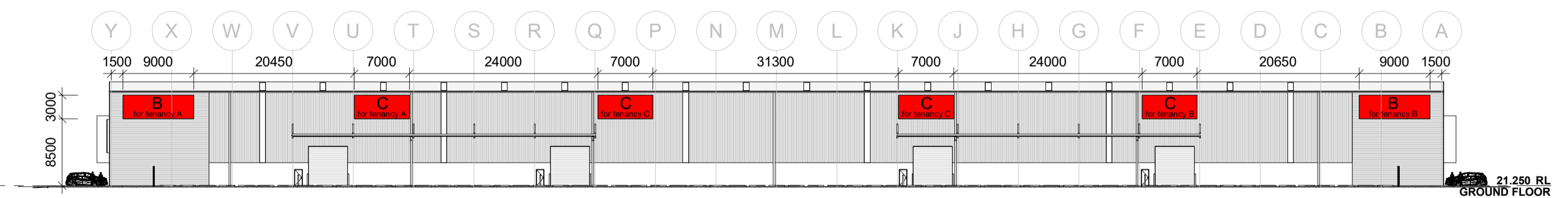


SIGNAGE LAYOUT
SCALE: 1 : 500

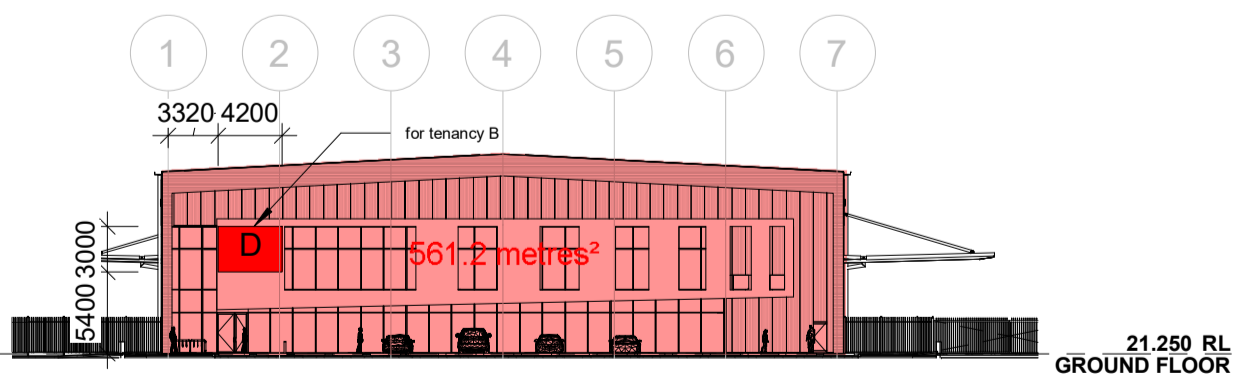
Total Signs: 138m² (7.1%)
Total facade: 1,948m²



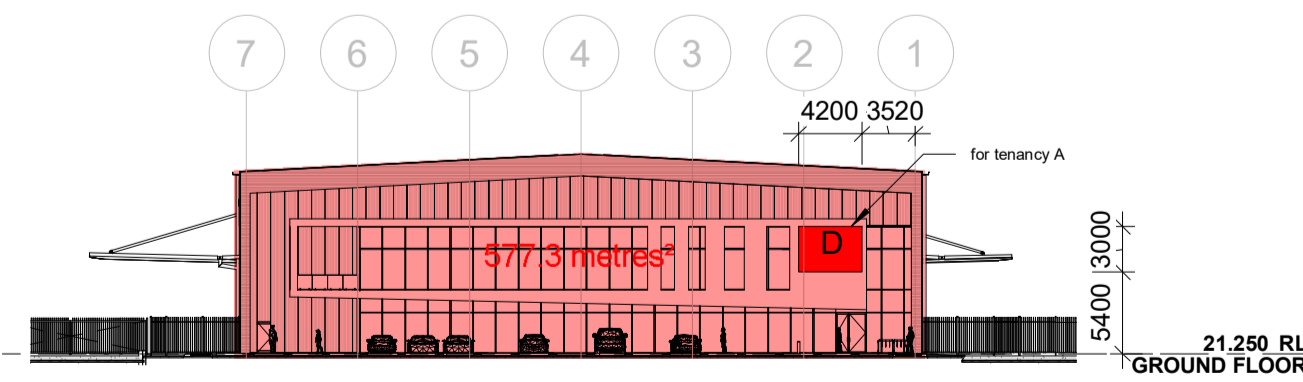
2 SOUTHEAST ELEVATION - SIGNAGE
DA-09 SCALE: 1 : 500



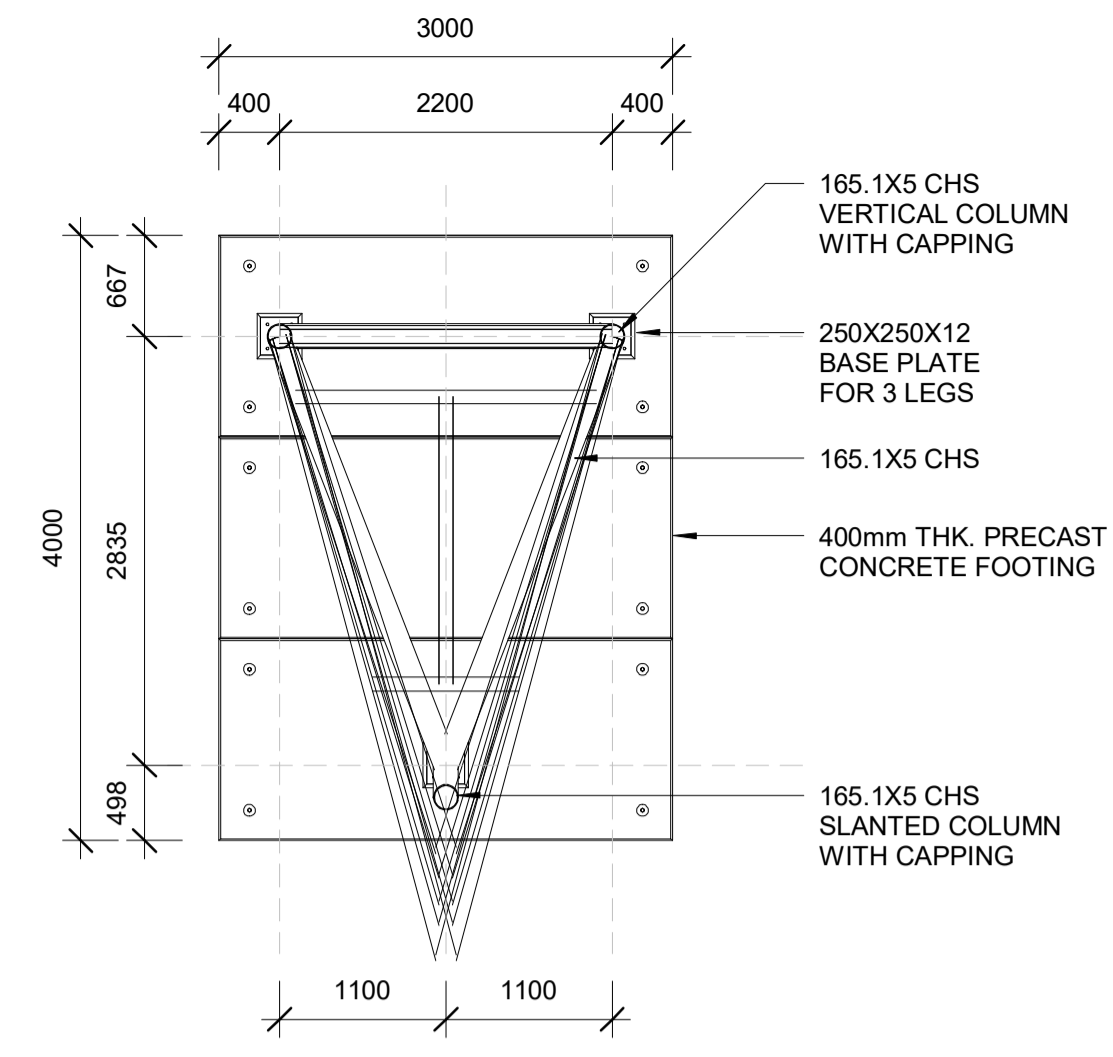
3 NORTHWEST ELEVATION - SIGNAGE
DA-09 SCALE: 1 : 500



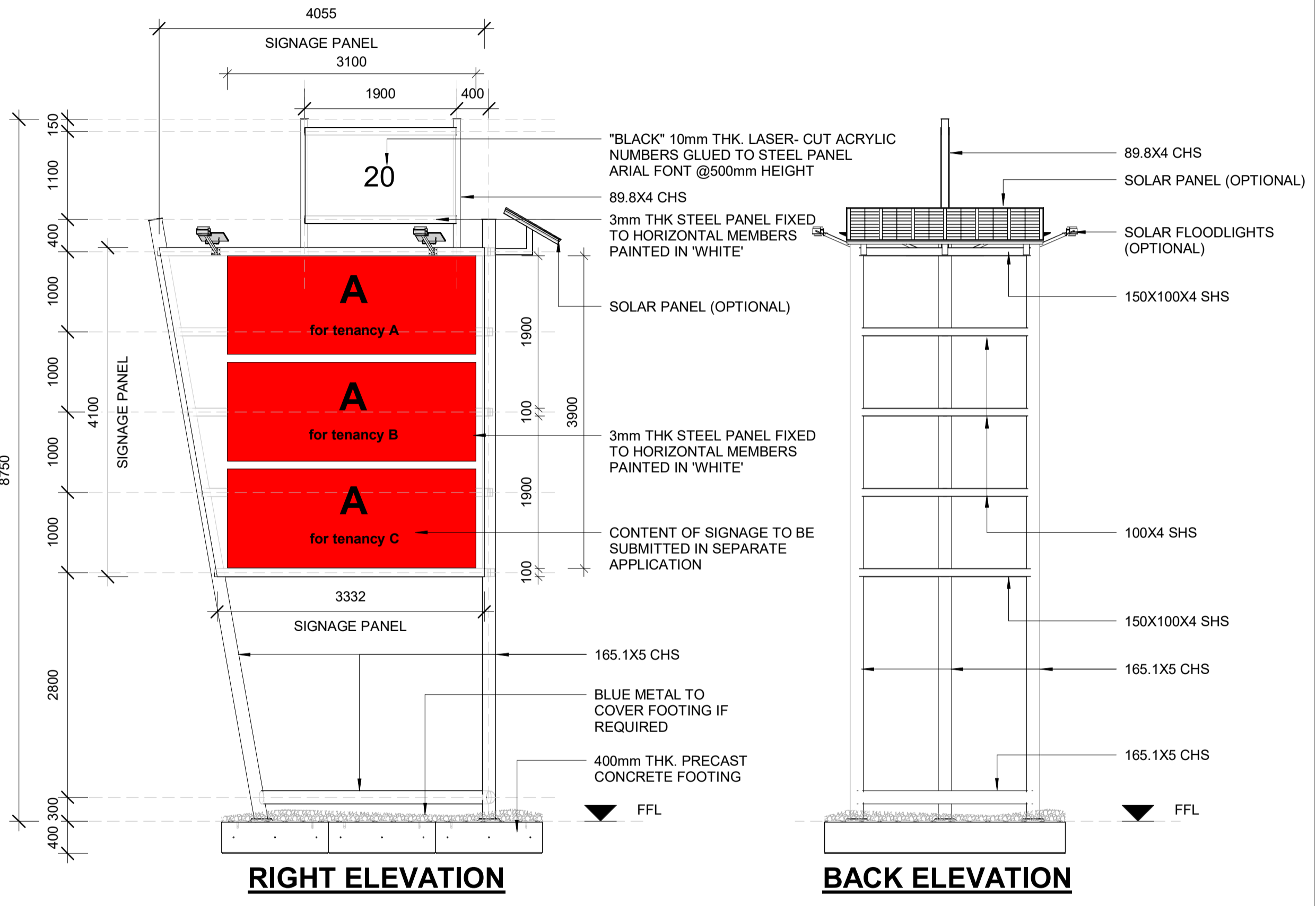
4 SOUTHWEST ELEVATION - SIGNAGE
DA-09 SCALE: 1 : 500



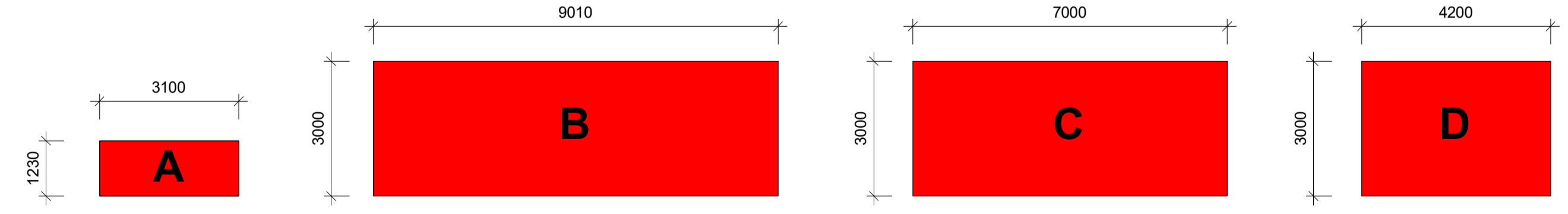
5 NORTHEAST ELEVATION - SIGNAGE
DA-09 SCALE: 1 : 500



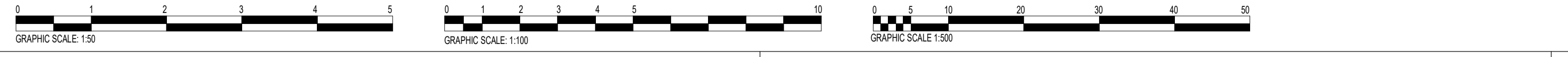
PLAN VIEW



TYPICAL PYLON SIGN LAYOUT
SCALE: 1 : 50



SIGNAGE SCHEDULE
SCALE: 1 : 100



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SIGNAGE LAYOUT

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3D IMPRESSION

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